



# City of Loudon, Tennessee Board of Zoning Appeals

AGENDA  
LOUDON CITY HALL  
2480 Hwy. 72 N.  
WEDNESDAY, September 4, 2024  
*Immediately following the Planning Commission meeting*

1. Call to Order

2. Roll Call

Debbie Hines, Chairman  
Kelly Brewster  
Kevin Bookout  
Ham Carey  
Tim Dixon

Tim Henley, Secretary  
Dennis Brennan, Vice-Chairman  
David Meers  
Clayton Pangle  
Scott Wilson

3. Approval of Minutes – August 7, 2024 Meeting

4. New Business;

A. Application #125: Variance Request to increase building height from 48'-8" to 75'-0" where shown in plan, Viskase Companies, 106 Blair Bend Dr., Applicant Gary Layton, Tax Map 041 Parcel 010.00, M-2, Heavy Industrial;

B. Application #124: Variance Request to decrease 25' building setback to distances shown in plan, 427 Cape Lookout Light, Applicant and Property Owner Nathan Lail, Tax Map 032A Group A Parcel 014.00, R-2, High Density Residential;

C. Application #128: Variance Request to waive 300' distance requirement for automobile wrecking, junk, and salvage yards from Residential District, from eastern property boundary (rear of lot from Highway 11), 3827 Lee Hwy W, Applicant Jack Qualls, Property Owner Dennis and Chasidy Hachmann, Tax Map 048 Parcel 098.00, M-1 - Light Industrial;

5. Additional Public Comments

6. Announcements and/or comments from Board/Commission

7. Adjournment

# Planning Application Details

**Date Received**

08/20/2024

**Meeting Date**

09/04/2024

**Planning Application #**

125

**Meeting Board Authority**

2.) Board of Zoning Appeals

**Application Type**

Variance

**Development Name**

Viskase Height Variance

**Description**

Viskase Companies, Inc. is investing significant capital into our Loudon facility to secure the future of the site. This will allow us to maintain our ability to compete globally, and to continue to provide valuable jobs and development opportunities for our Loudon teammates. As part of this investment, we are installing some updated production equipment. In order to be able to install this updated equipment we require a roof modification to our existing building, in a limited area ~53' x 45', raising the elevation from 49' to 75' high.

Pursuant to Tennessee Title 14-506 building height requirements, and Section 14-1203.

Exceptions to height limitations. The height limitations ....of this title shall not apply to .... other structures, which in the opinion of the board of zoning appeals will not adversely affect the neighborhood.

As the Viskase building and property is in an industrial neighborhood, with additional nearby facilities having building heights in excess of the Viskase proposed building expansion, there will be no adverse impact to the neighborhood.

**Location**

106 Blair Bend Drive  
Loudon, TN 37774

**Parcel ID**

053 041 01000 000

**Property Owner**

Viskase Companies, Inc.

**Person making request (Title)**

Applicant (general)

**Person Making Request**

Gary Layton

**Person making request Email**

[gary.layton@viskase.com](mailto:gary.layton@viskase.com)

**Person Making Request Address**

333 East Butterfield Road  
Suite 400  
Lombard, IL 60148

**Proposed Use**

Industrial

**Gross Square Footage of new building or addition**

2,385

**Applicant signiture**

**Site Plans V1**

[viskaseloudonroofextensiontopdownsurveyplusphotoview.pdf](#)

**Plat V1**

[viskaseloudonsurvey\\_82120.pdf](#)

**Project Plan V1**

[23210viskaseroofextensionrevb.pdf](#)



**NOT FOR  
CONSTRUCTION**

Issue: 1 Revision:

No.	Date	Description
A	6/13/2024	Owner Review
B	7/31/2024	Owner Review

Project No.: 23210

Drawn By: WAG

Eng. Check	Dept. Check	QA. Check
-	JMJ	WR

This drawing, as an instrument of service, is the property of HODGE Engineering. It may not be copied in whole or in part without the written permission of HODGE Engineering. HODGE Engineering denies any and all responsibility or liability for problems which arise from failure to follow these plans, specifications and design intent they convey, or problems which arise from other's failure to obtain and/or follow the design professional's guidance with respect to any error, omissions, inconsistencies, ambiguities or conflicts which are alleged.

Project Title:  
**VIKASE- ROOF  
EXTENSION**

Location:  
**106 BLAIR BEND DR.  
LOUDON, TN 37774**

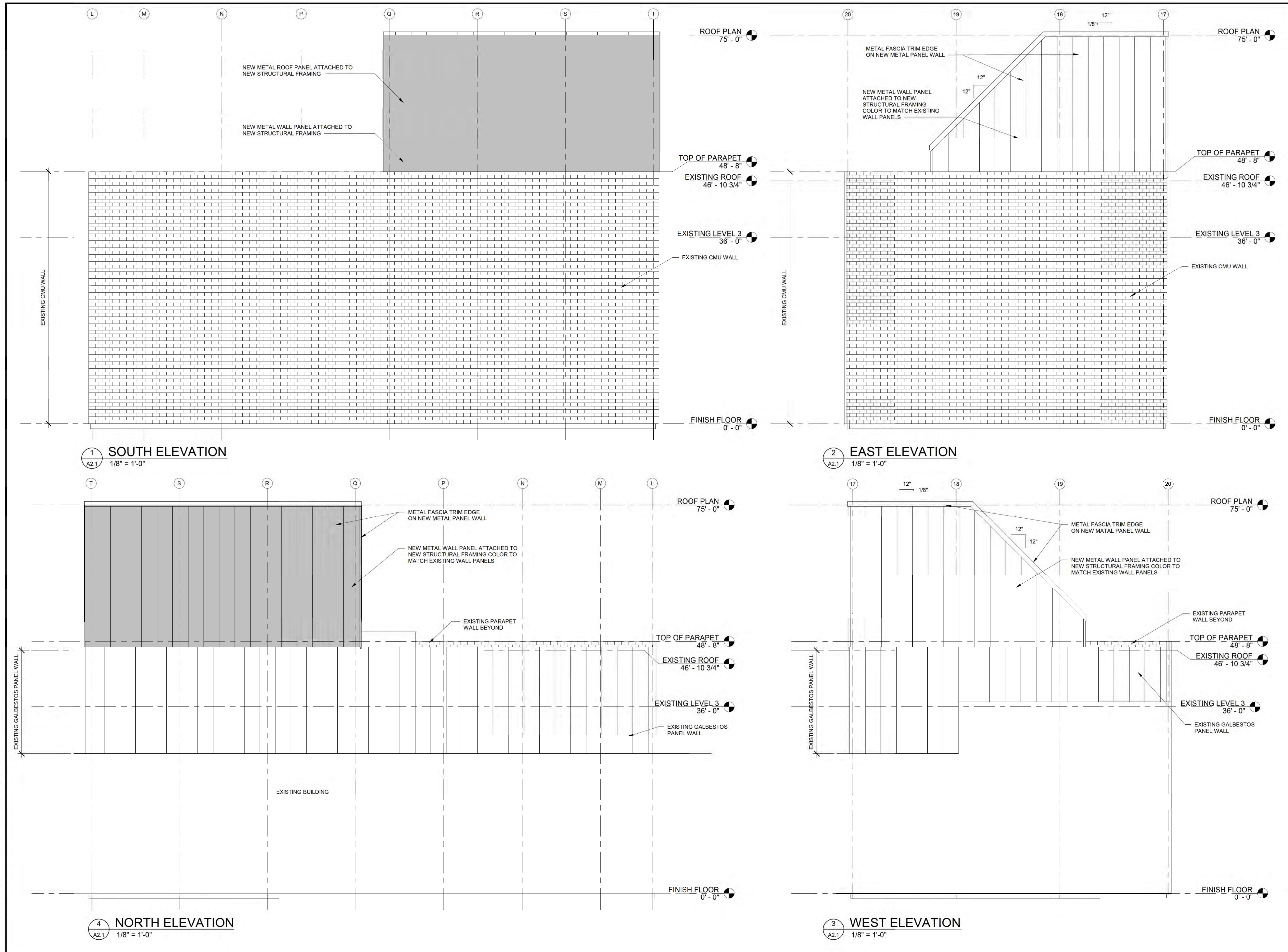
Sheet Contents:  
**ELEVATIONS**

Date:  
**31 JULY, 2024**

Sheet Number:

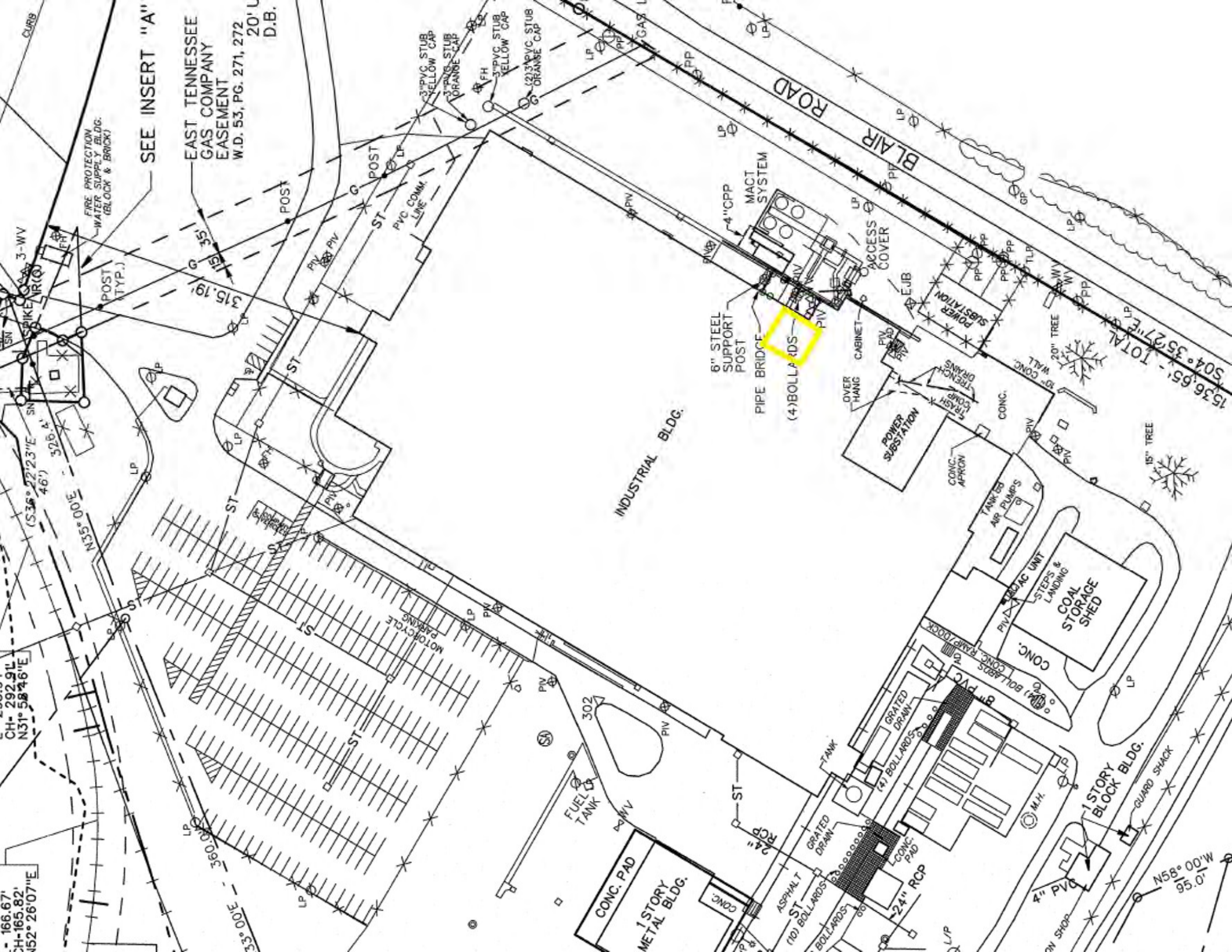
**A2.1**

3 OF 3



7/31/2024 5:01:31 PM H:\\_2023 Projects\23210 - Viskase - Roof Extension\Revit model\23210 - Viskase.rvt





SEE INSERT "A"

EAST TENNESSEE  
GAS COMPANY  
EASEMENT  
W.D. 53, PG. 271, 272  
20' U  
D.B.

INDUSTRIAL BLDG.

COAL STORAGE SHED

166.67'  
152° 26' 07" E  
158° 00' W  
95.0'

1536.65' - TOTAL  
504° 35' 27" E

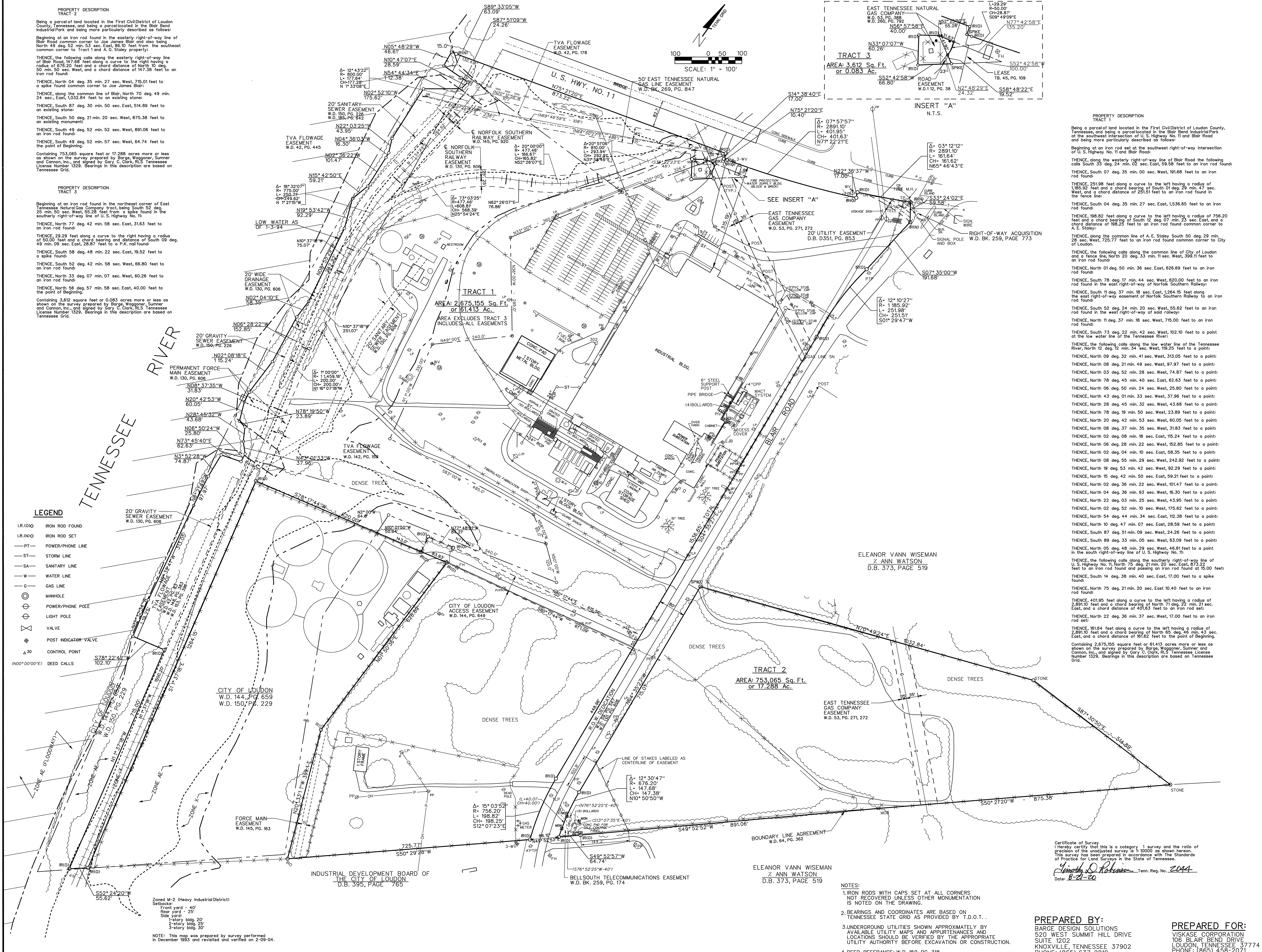


Blair Bend Rd

Viskase







Certificate of Survey  
 I hereby certify that this is a category 1 survey and the ratio of precision of the unadjusted survey is 1:10000 as shown hereon.  
 This survey has been prepared in accordance with the Standards of Practice for Land Surveys in the State of Tennessee.  
 Gary C. Clark, R.L.S.  
 Date: 8-21-20

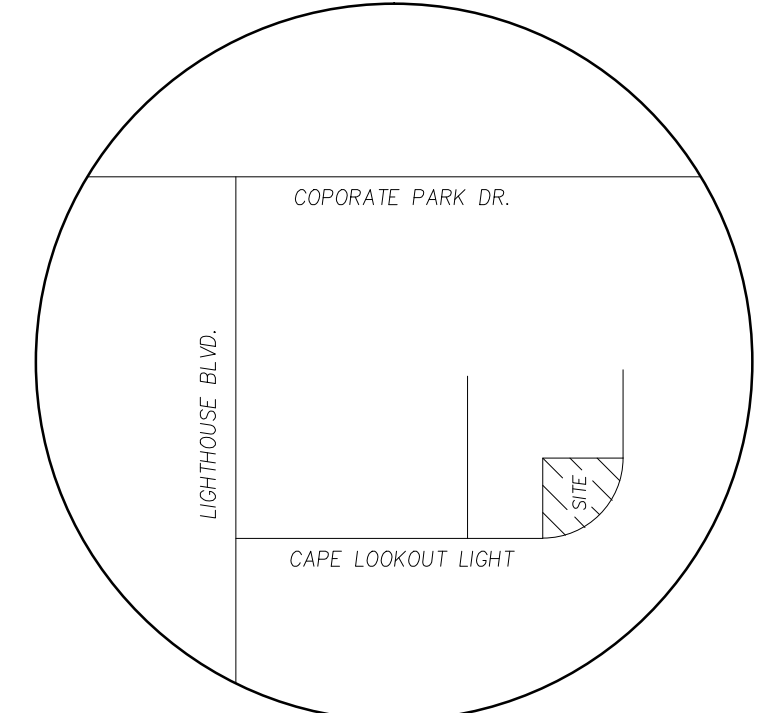
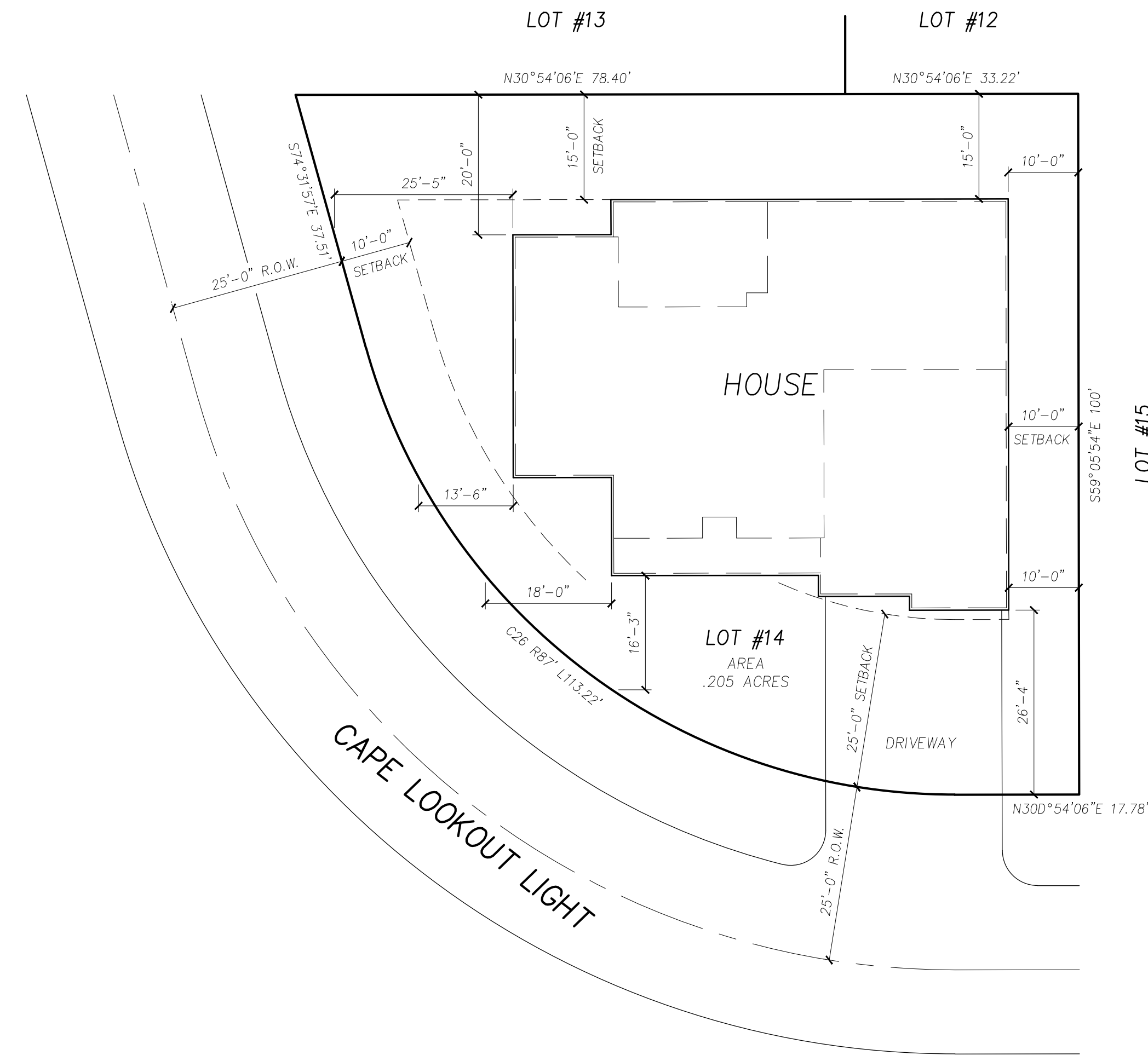
**NOTES:**  
 1. IRON RODS WITH CAPS SET AT ALL CORNERS NOT RECOVERED UNLESS OTHER MONUMENTATION IS NOTED ON THE DRAWING.  
 2. BEARINGS AND COORDINATES ARE BASED ON TENNESSEE STATE GRID AS PROVIDED BY T.D.O.T..  
 3. UNDERGROUND UTILITIES SHOWN APPROXIMATELY BY AVAILABLE UTILITY MAPS AND APPURTENANCES AND LOCATIONS SHOULD BE VERIFIED BY THE APPROPRIATE UTILITY AUTHORITY BEFORE EXCAVATION OR CONSTRUCTION.  
 4. DEED REFERENCE: W.D. 159, PG. 318.

**PREPARED BY:**  
 BARGE DESIGN SOLUTIONS  
 520 WEST SUMMIT HILL DRIVE  
 SUITE 1202  
 KNOXVILLE, TENNESSEE 37902  
 PHONE: (865) 637-2810

**PREPARED FOR:**  
 VISKASE CORPORATION  
 106 BLAIR BEND DRIVE  
 LOUDON, TENNESSEE 37774  
 PHONE: (865) 458-2071

NOTE: This map was prepared by survey performed in December 1993 and revised and verified on 2-09-04.

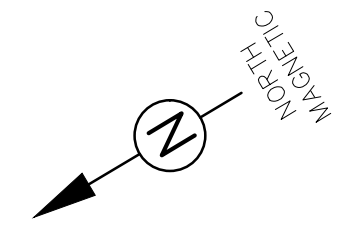
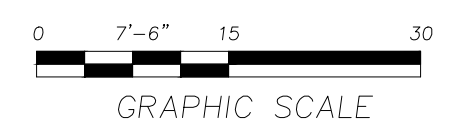




**LOCATION**  
N.T.S.

**SITE PLAN**


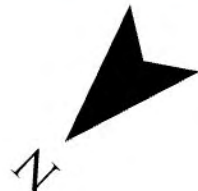
1" = 15'





**Legend**

- Fence 100ft x 100ft
- 300ft buffer
- 300ft buffer
- Parcel Boundary
- buildings
- <all other values>





ACCESSORY BUILDING: A subordinate building, the use of which is incidental to that of a main building and located on the same lot therewith.

ACCESSORY USE: A use customarily incidental, appropriate, and sub-ordinate to the principal use of land or buildings and located upon the same lot therewith.

ADULT BOOKSTORE: An establishment with 1% or more of its sales attributable to books, magazines, motion pictures, videos, periodicals and other materials which are distinguished or characterized by their emphasis on matter depicting, describing or relating to "Specified Sexual Activities" or "Specified Anatomical Areas" (as defined herein) for the sale to or for the observation by patrons therein.

ADULT MOTION PICTURE THEATER: A public place, whether open or enclosed, used for presenting material distinguished or characterized by an emphasis on matter depicting, describing, or relating to "Specified Sexual Activities" or "Specified Anatomical Areas" (as defined therein) for the observation by patrons therein.

ALLEY: A minor right-of-way, dedicated to public use, which affords a secondary means of vehicular access to the back or side of properties otherwise abutting a street, and which may be used for public utility and public service purposes.

ALTERNATIVE TOWER STRUCTURE: Man-made trees, clock towers, bell steeples, light poles, power poles or structures and similar alternative-design mounting structures that camouflage or conceal the presence of towers or antennas.

ANTENNA: Any exterior transmitting or receiving device mounted on a tower, building or structure and used in communications that radiate or capture electromagnetic waves, digital signals, radio frequencies (excluding radar signals), wireless telecommunications signals or other communication signals.

AREA, BUILDING: The total areas taken on a horizontal plane at the main grade level of the principal building and all accessory buildings exclusive of uncovered porches, terraces, and steps.

AUTOMOBILE WRECKING: The dismantling, storage, sale, or dumping of used motor vehicles, trailers, or parts thereof.

BOARD: The Loudon Board of Zoning Appeals.



DWELLING UNIT: One or more rooms and a single kitchen designated as a unit for occupancy by only one family for cooking, living, and sleeping purposes.

ELECTRIC SERVICE: The furnishing of electric power and energy for lighting, heating, power or any other purpose for which electric power and energy can be used.

ELECTRIC UTILITY: Any public or private entity engaged in generating and/or transmission and/or distribution of electric power and energy for lighting, heating, power or any other purpose for which electric power and energy can be used.

FAA: Federal Aviation Administration.

FCC: Federal Communications Commission.

FILL AREA: means the area containing waste placed in final disposal and not including earthen berms or other facility appurtenances.

HEIGHT: When referring to a tower or other structure, the distance measured from the finished grade of the parcel to the highest point on the tower or other structure, including the base pad and any antenna.

HEIGHT OF BUILDING: The vertical distance from the established average sidewalk grade, street grade, or finished grade at the building line, whichever is the highest, to the highest point of the building.

JUNK YARD OR SALVAGE YARD: A lot, land or structure, or part thereof, used primarily for the collection, storage and sale of waste paper, rags, scrap metal, or discarded material; or for the collecting, dismantling, storage, and salvaging of machinery or vehicles not in running condition or for the sale of parts thereof.

LOADING AND UNLOADING SPACE: An area ten (10) feet by forty (40) feet with a fourteen (14) foot height clearance providing for the standing, loading, or unloading of a truck or other vehicle.

LOT: A piece, parcel, or plot of land in one ownership, which may include one or more lots of record, occupied or to be occupied by one principal building and its accessory buildings including the open spaces required under this ordinance.

LOT LINES: The boundary dividing a given lot from the street, an alley or adjacent lots.

would be in keeping with the intent and provisions of this ordinance.

4. No building permit shall be issued for construction of any building or location of any manufactured home on the land until the Board has approved the development plan and a statement of approval has been affixed.
5. The building permit shall be revoked if construction of any part, or phase, of the development is not in compliance with the approved plans.

*(Revisions to Section 14-606 regarding Manufactured Home Communities was recommended by Loudon Regional Planning Commission 3/5/97; adopted by Loudon City Council 6/16/97.)*

**14-607. DEVELOPMENT STANDARDS FOR CERTAIN USES.** In order to accomplish the purposes of the zoning code, special consideration is hereby given to certain uses. These uses shall comply with the following requirements regardless of the district in which they may be located.

1. Gasoline service stations. The following regulations shall apply to all gasoline service stations:
  - a. There shall be a building setback from all street right-of-way lines of a distance of not less than forty (40) feet.
  - b. Gasoline pumps shall not be located closer than fifteen (15) feet to any street right-of-way line.
  - c. Sign requirements as established in this ordinance shall be met.
2. Cemeteries. The following regulations shall apply to all cemeteries:
  - a. The site proposed for a cemetery shall not interfere with the development of a system of streets and in addition shall have direct access to a thoroughfare.
  - b. Any new cemetery shall be located on a site containing not less than ten (10) acres.
  - c. All structures and facilities including but not limited to mausoleums, shall be set back at least thirty (30) feet from any property line or street right-of-way.



- d. All required yards shall be landscaped and maintained.
- e. Proposals for cemeteries must be approved by the Board of Zoning Appeals prior to the issuance of a building permit.

3. Automobile wrecking, junk, and salvage yards. The following regulations shall apply to all automobile wrecking, junk, and salvage yards:

- a. No automobile wrecking, junk, and salvage yard shall be permitted closer than three hundred (300) feet from any residential district.
- b. All outdoor storage of salvage and wrecking operations shall be conducted entirely within an enclosed opaque fence or wall, except driveway areas, from eight (8) to twelve (12) feet in height. Storage between the street and such fence or wall is expressly prohibited. Any fence or wall erected for screening purposes shall be property painted or otherwise maintained in good condition.

**14-608. EROSION AND SEDIMENTATION CONTROL STANDARDS.** The purpose of these regulations is to empower the appropriate officials of Loudon, to control any land-disturbing activity that is determined by such officials to cause contamination of water supplies and water resources, the clogging of water-courses, and ditches, sinkholes or natural drainage ways; or erosion of land which may jeopardize existing structures, roadway, or adjacent property. This section shall apply to all districts within Loudon, Tennessee.

- 1. Permits. Any site of three (3) acres or more which may be exposed or disturbed of earth shall have a valid grading permit issued by the Building Inspector for that particular site before commencement of any grading/excavation works. Any site with less than three (3) acres shall not be required to obtain a permit, however, such tracts are not excluded from the general requirements of this ordinance.
  - a. Permit requirements. The developer shall submit the following information for the entire tract of land to be graded/excavated before a permit is to be released.
    - i. A boundary line survey of the site on which the work is to be performed.
    - ii. Plans and specifications of soil erosion and sedimentation control measures conforming to the requirements as outlined in this ordinance.

into the site plan when requesting a building permit, or as part of a subdivision plat.

H. Erosion Control

Effective erosion control measures shall be required during construction to eliminate sedimentation on public rights-of-way or watercourses. The use of straw bales or silt fencing is typically the most prevalent, however other suitable methods will be permitted.

I. Exemptions

The requirement for detention, hydrologic or hydraulic computations, plans and preparation by an engineer are not applicable for single family residences or duplexes on individual lots.

**14-614. VEHICLE PARKING AND JUNK VEHICLES.**

A. Purpose: This ordinance is intended to regulate the storage of vehicles and place restrictions on the placement of junk vehicles on private property in order to prevent diminution of property values, eliminate hazardous situations caused by deteriorating vehicle parts, overgrown vegetation around, in, or through vehicles, and collection of pools of stagnate water in vehicles.

B. Definition: As used in this ordinance, the following terms and phrases shall have the following meanings:

1. "Person" shall mean any person, firm, partnership, association, corporation or any organization of a similar kind.
2. "Private Property" shall include all property that is not public property, regardless of how the property is zoned or used.
3. "Vehicle" shall mean any machine propelled by power other than human power, designed to travel along the ground by the use of wheels, treads, self-laying tracks, runners, slides or skids, including but not limited to automobiles, trucks, motorcycles, motor scooters, go-carts, campers, tractors, tractor-trailers, buggies, wagons, and earth moving equipment and any part of the same.
4. "Junk Vehicle" shall mean a vehicle of any age that is damaged or defective in any one or combination of any of the following ways that either makes the vehicle immediately inoperable, or would prohibit the vehicle from being operated in a reasonably safe manner:
  - Flat tires, missing tires, missing wheels, or missing or partially or totally disassembled tires and wheels.



- Missing or partially or totally disassembled essential part or parts of the vehicles drive train, including but not limited to engine, transmission, transaxle, drive shaft, differential, or axle.
- Extensive exterior body damage or missing or partially or totally disassembled essential body parts, including but not limited to, fenders, doors, engine hood, bumper or bumpers, windshields, or windows.
- Missing or partially or totally disassembled essential interior parts, including but not limited to drivers seat, steering wheel, instrument panel, clutch, brake, gear, shift lever.
- Missing or partially or totally disassembled parts essential to the starting or running of the vehicle under its own power, including, but not limited to, starter, generator, or alternator, battery, distributor, gas tank, carburetor, or fuel injection system, spark plugs, or radiator.
- Placed on the ground in either an upside down or side position, sitting on blocks, or suspended in the air by any other method in combination with any of the preceding conditions.

#### C. General Restrictions:

Vehicles and junk vehicles on private property shall comply with the following provisions:

1. Any vehicle designed or intended to be used on public roads shall maintain a current license plate.
2. Any junk vehicle located on private property shall be completely enclosed within a building which shall prevent the vehicle from being visible from any adjoining property or any public way.
3. No vehicle shall be used for storage or as a container for metal, glass, paper, rags, or other cloth, wood, auto parts, machinery, waste, or discarded materials in such quantity or arrangement that a driver cannot operate the vehicle in a safe and normal manner.
4. No junk vehicle shall be allowed to be located on private property, except within an enclosed building, for a period of time not to exceed forty-eight (48) hours.

#### D. Exceptions

This ordinance shall not be construed to prohibit the placement of parked or stored vehicles or junk vehicles on private property lawfully zoned for business engaged in towing and storing vehicles, wrecking, salvaging, repairing of vehicles or any similar operation.

#### E. Severability

Each section, subsection, paragraph, sentence, and clause of this ordinance is declared to be separable and severable. The invalidity of any section, subsection,